



Bay Adelaide Centre

North Tower | Building Specifications

General Description	Scotiabank North Tower at Bay Adelaide Centre, at 810,344 square feet, is the third and final tower in the Downtown Toronto office complex. It is unique in that it has large podium floors and a rooftop patio. The Bay Adelaide Centre, comprises of three AAA office towers with a retail component, and totals over three-million square feet. The complex features a ½ acre urban plaza and 930 stall parking garage. with entrances on both Adelaide and Richmond Streets. Loading dock entrance is via Richmond Street with direct access to the Concourse. The North Tower, 32 storeys, was completed in 2022. Anchored by Scotiabank and other accounting and legal firms, the Bay Adelaide Centre is 'the centre of business'. The North Tower incorporates state of the art features such as Life Safety stairwells 20% wider than Ontario Building Code, Increased energy savings with Deep Lake Water Cooling, MERV 13 HVAC air filters, with 89-90% dust spot efficiency, Cistern System to reduce indoor potable water usage by 40%, LED Lighting and Elevator Destination Dispatch.
Design Architect	KPMB Architects, Adamson Associates Architects,
General Contractor	Multiplex Construction Canada Ltd.
Mechanical Engineer	The Mitchell Partnership
Structural Engineer	Entuitive Corporation
Completion Date	April 2022
Building Height	32 stories
Design Load	20 pounds per square foot partition load 80 pounds per square foot live load 167 pounds per square foot live load near the core





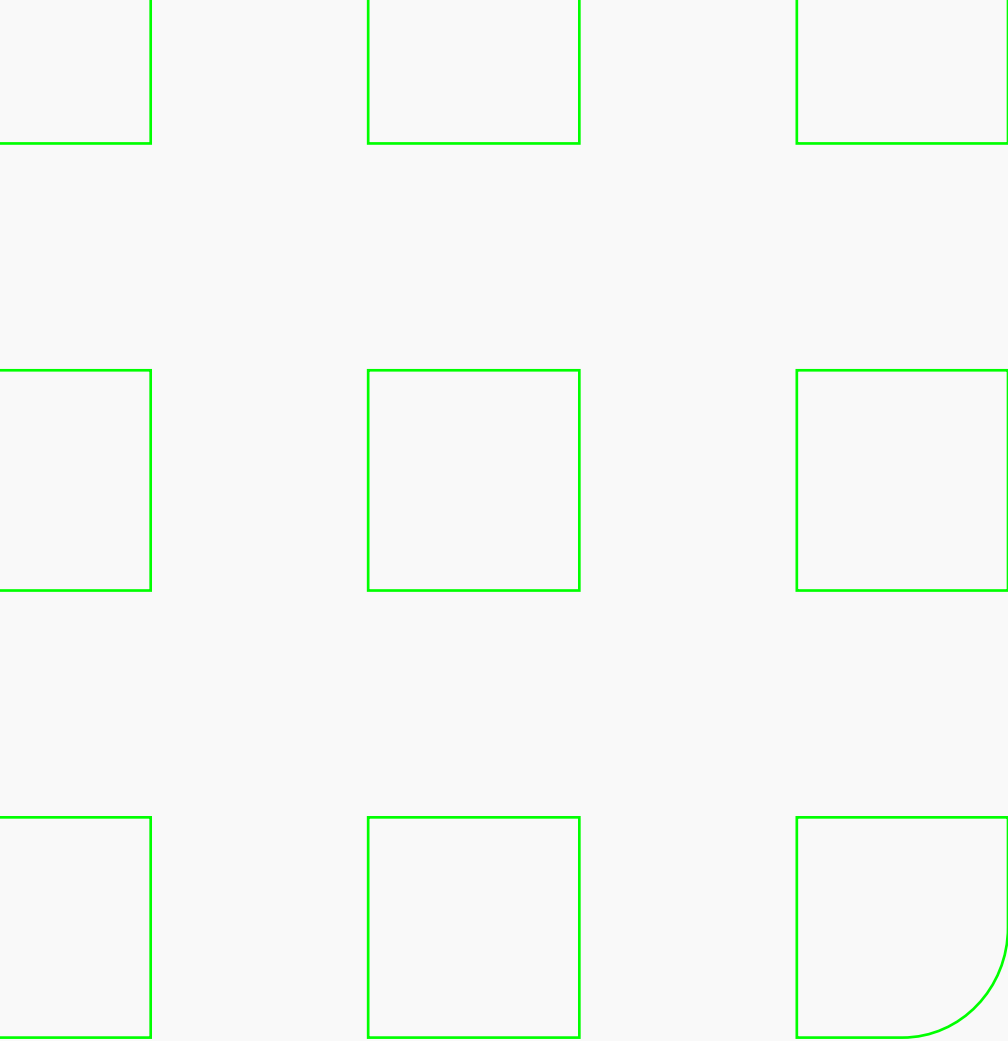
Rentable Area	Approximately 810,344 Tower & podium is 820,000 sqft
Typical Floor Area	Approximately 24,700 to 34,700 (podium)
Ceiling Heights	Slab-to-slab heights on office floors average 13'1" or 4 m Standard floor to ceiling height is 9' or 2.74 m
Mullion Spacing	1500mm on centre
Interior Columns	None
Heating, Ventilation and Air Conditioning	The Building Automation and Energy Management System is a fully networked computerized DDC system. In addition to equipment operation, the system can perform demand totalization, load shedding and duty cycling functions.
Design Criteria	The building's HVAC systems are designed to meet or exceed Ontario Building Code requirements. Design conditions are based upon occupancy of not more than one person per 150 rentable square feet. Fresh air is introduced at the rate of 0.2 cubic feet per minute, in excess of government and professional standards, resulting in improved employee comfort and productivity.
Heat	Heat is provided by Enwave Heat exchangers with Humidification supplied by steam boilers.
Air Conditioning	Cooling is provided by Enwave DLWC. An additional 0.75 watts per square foot of cooling capacity is provided in the chilled water risers at each office floor. Supplemental HVAC is available 24 hours a day at an additional cost.
Standard Hours of HVAC Operation	7:30 a.m. to 6:30 p.m., Monday through Friday 9:00 a.m. to 5:00 p.m., Saturday
Electricity	Building-standard power consists of 5 watts per square foot, connected load, provided by Toronto Hydro. Additional power is available based upon demonstrated need. Back-up power is provided by two 1,500 KW diesel generators. 120/208V 3 phase 4 wire circuit breaker panel of sufficient capacity to allow normal power loads of 2.0 watts per square foot for receptacle and miscellaneous power.





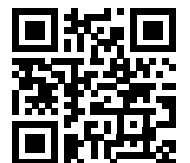
Electric Closet	1 per floor
Telephone Closet	2 per floor
Number of Passenger Elevators	20 elevators organized into 2 banks: 2nd floor to 18th floor Low Rise 18th to 32nd High Rise
Passenger Elevator Capacity	1,588kg
Passenger Elevator Speed	Low rise 3.5 m/s High rise 6.0 m/s
Number of Parking Elevators	6 elevators organized into 3 banks: Levels Lobby—P3 (West) Levels Lobby – P3 (East) Levels Lobby – P3 (North)
Parking Elevator Capacity	1,591 kg
Parking Elevator Speed	350 FPM (feet per minute)
Number of Service Elevators	2 Elevators -from P3 to the 33rd floor penthouse
Service Elevator Capacity	2,720kg
Service Elevator Size	Tower Service Elevators: 8'5 deep x 6'9 wide x 10' 1" high





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